

EXISTING SITE PLAN

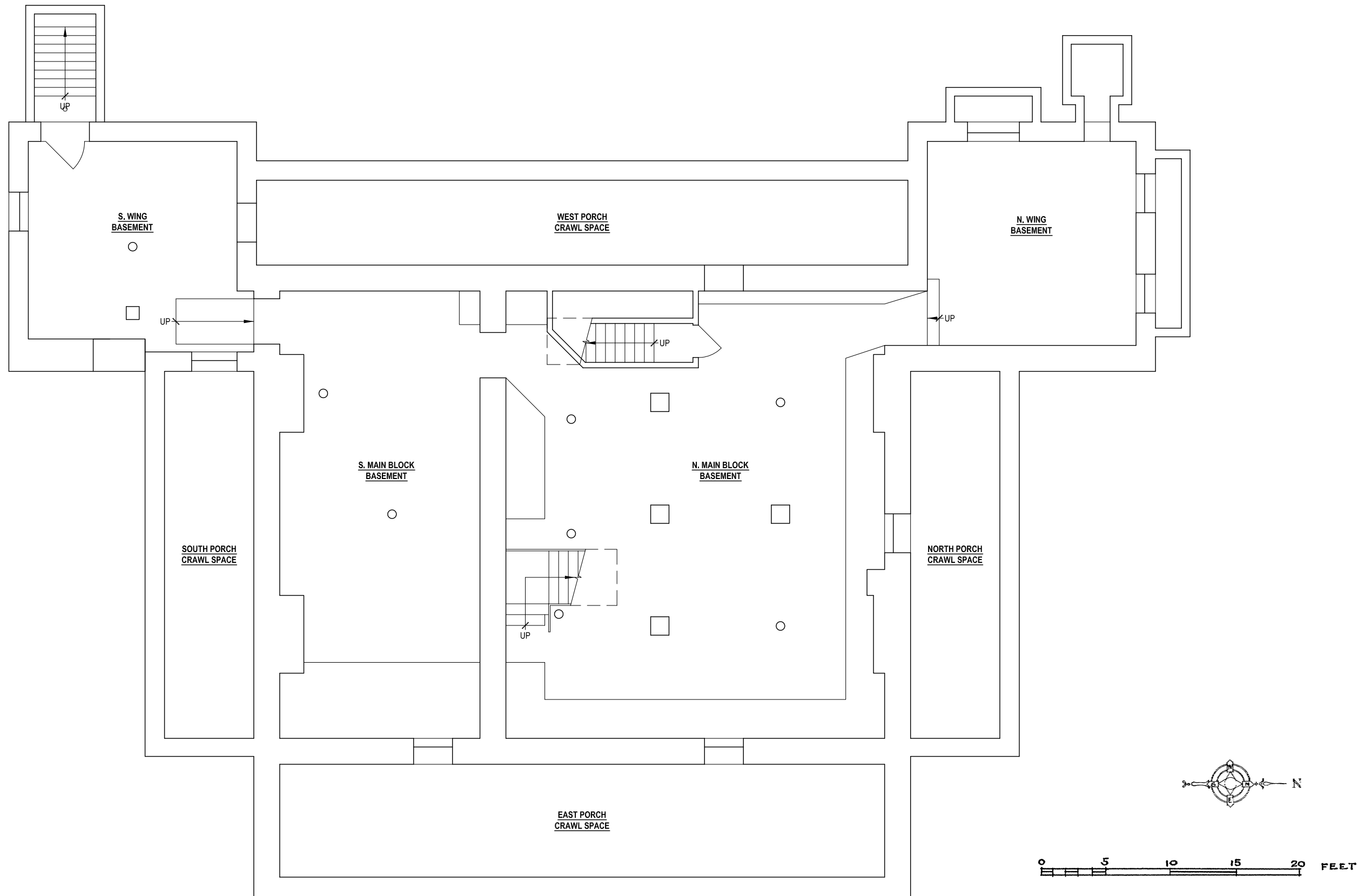
NOT TO
SCALE



GORDON HALL
REHABILITATION MASTER PLAN
DEXTER AREA HISTORICAL SOCIETY
AUGUST 2011

HopkinsBurns
DESIGN STUDIO
historic preservation
communities by design

SHEET
0



EXISTING BASEMENT FLOOR PLAN

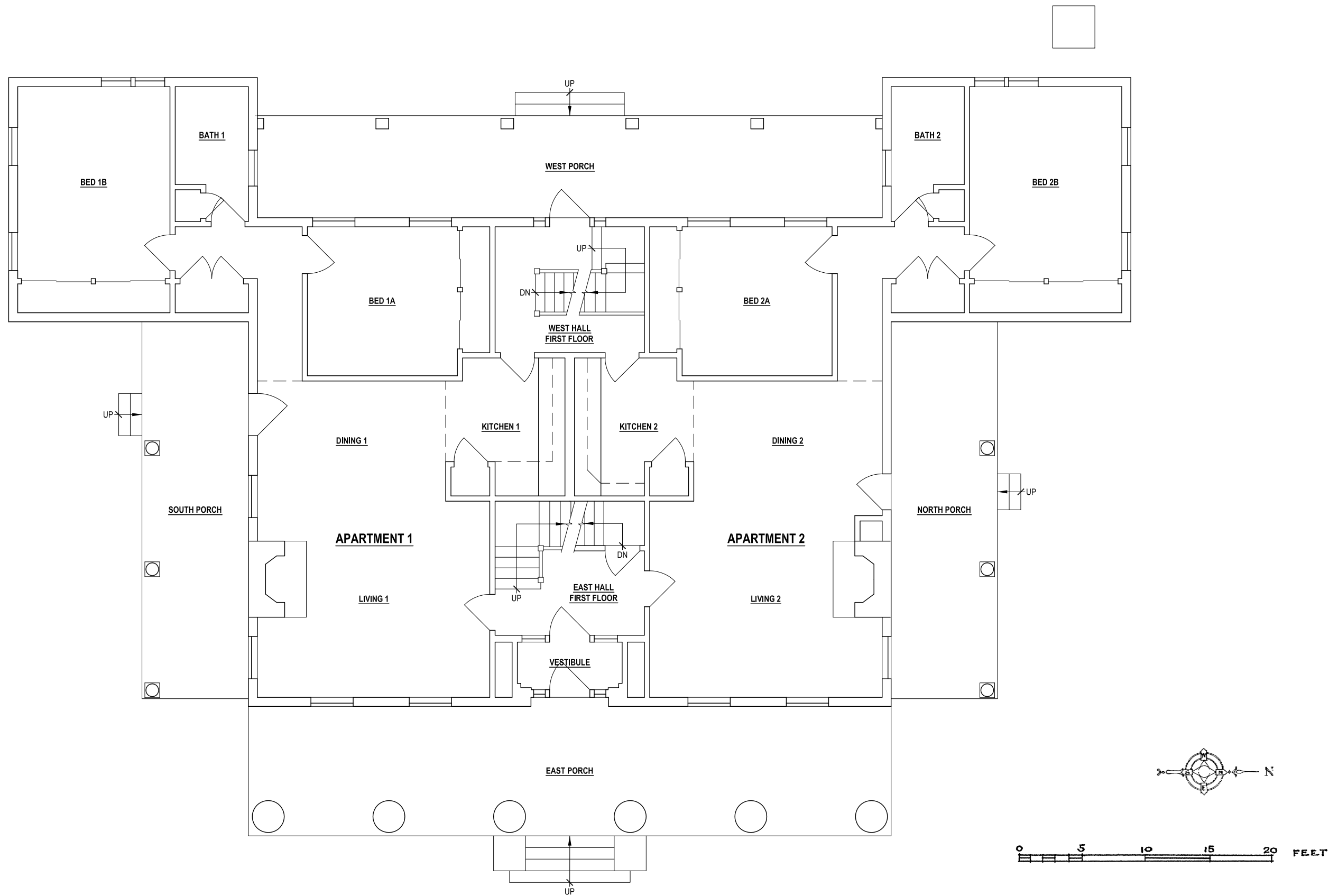
SCALE
1/8" = 1'-0"



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AUGUST 2011



SHEET
1



EXISTING FIRST FLOOR PLAN

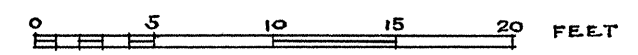
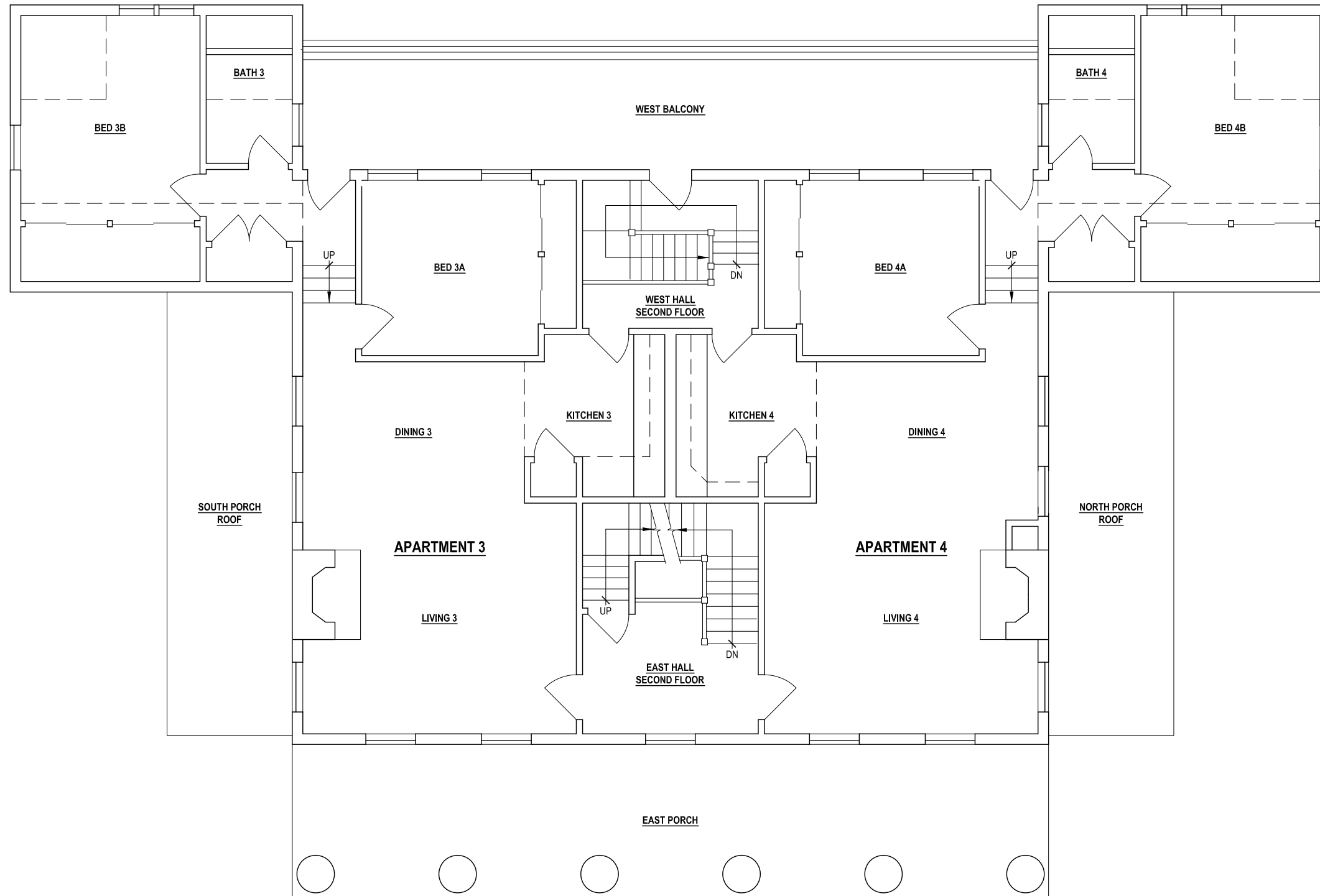
SCALE
1/8" = 1'-0"



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EXISTING SECOND FLOOR PLAN

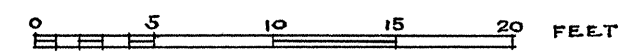
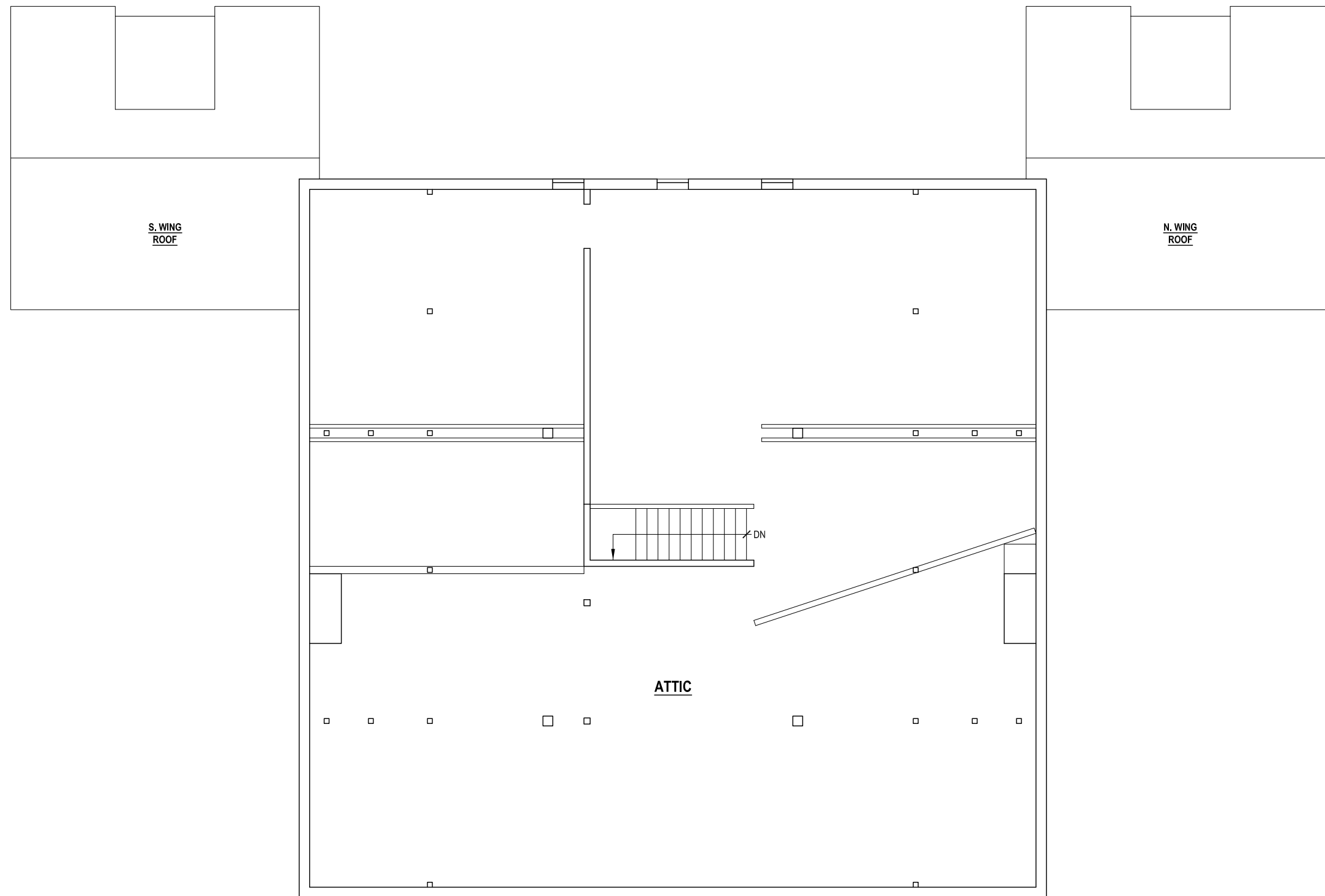
SCALE
1/8" = 1'-0"



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EXISTING ATTIC FLOOR PLAN

SCALE
1/8" = 1'-0"



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SHEET
4

LEGEND	
(1)	NEAR TERM PRIORITY
(2)	MID TERM PRIORITY
(3)	LONG TERM PRIORITY

(2) CLEAN ORGANIC STAIN ON SIDING

(2) REPAIR OPEN JOINTS IN ALUMINUM SIDING

(1) REPAIR OPEN JOINTS IN COLUMN CAPITAL

(1) PAINT EXPOSED BOARD

(1) REPAIR END DECK BOARD PULLING AWAY FROM EAST PORCH FLOOR

(1) PROVIDE NEW GUTTER

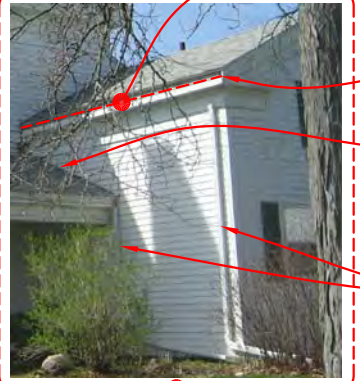
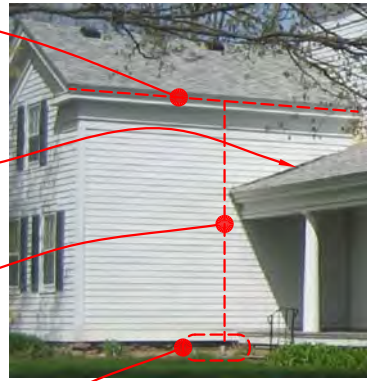
(1) PROVIDE NEW FLASHING WHERE SOUTH PORCH ROOF TERMINATES AT SOUTH WING

(1) PROVIDE NEW DOWNSPOUTS

(2) REPOINT EXPOSED FORMER BRICK CHIMNEY

(1) REPOINT STONE FOUNDATION

(1) REPOINT STONE CHEEK WALLS



(2) REPLACE DETERIORATED NON-ORIGINAL DOOR WITH TWO-PANELED DOOR TO MATCH HABS DRAWINGS; SCRAPE AND PAINT SILL AND TRIM; REGLAZE MUNTIN WINDOWS

(1) SCRAPE AND PAINT WOOD COLUMNS; TREAT ENDS OF COLUMN STAVES WITH EPOXY; PROVIDE VENTILATION; TYPICAL EAST PORCH

(1) REPAIR HOLE IN WOOD COLUMN, TYPICAL

(1) PAINT EXPOSED BOARD

(1) REPAIR END DECK BOARD PULLING AWAY FROM EAST PORCH FLOOR

(1) PROVIDE NEW GUTTER

(2) PROVIDE MISSING CROWN MOLDING

(1) PROVIDE NEW FLASHING WHERE NORTH PORCH ROOF TERMINATES AT NORTH WING

(1) PROVIDE NEW DOWNSPOUT

WORK SHOWN FOR THIS WING IS BASED ON EXISTING BUILDING CONFIGURATION AND MAY BE MODIFIED OR ELIMINATED BY PLAN FOR LONG TERM PRIORITY (3) WORK

(1) REPAIR PORCH FLOOR BOARDS CLOSE TO BUCKLING, TYPICAL EAST PORCH

(1) REPOINT STONE FOUNDATION

(3) REMOVE ALUMINUM SIDING; REPAIR AND REPLACE UNDERLYING WOOD CLAPBOARD SIDING TO MATCH HISTORIC
 (3) REGLAZE 75% OF WINDOWS

EXISTING EAST ELEVATION

NOT TO SCALE



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SHEET
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- LEGEND**
 (1) NEAR TERM PRIORITY
 (2) MID TERM PRIORITY
 (3) LONG TERM PRIORITY

(1) REMOVE VENT; REPAIR SIDING TO MATCH EXISTING

(2) REPLACE WINDOW SHUTTER TO MATCH EXISTING

(2) PAINT WOOD GUARD RAIL;
 (3) REMOVE GUARDRAIL AND REBUILD PORCH ROOF

(1) PROVIDE NEW GUTTER

(2) PROVIDE CROWN MOLDING TO MATCH EXISTING, ENTIRE FASCIA BOARD THIS WING

(1) PROVIDE NEW DOWNSPOUTS

WORK SHOWN FOR THIS WING IS BASED ON EXISTING BUILDING CONFIGURATION AND MAY BE MODIFIED OR ELIMINATED BY PLAN FOR LONG TERM PRIORITY (3) WORK

(1) REPAIR CRACKING AND SPALLING ON CONCRETE PORCH AND STEPS

(3) REMOVE ALUMINUM SIDING; REPAIR AND REPLACE UNDERLYING WOOD CLAPBOARD SIDING TO MATCH HISTORIC
 (3) REGLAZE 75% OF WINDOWS

(2) PROVIDE MISSING ALUMINUM SIDING TRIM TO MATCH EXISTING

(3) RESTORE WINDOW TO MATCH HISTORIC

(3) REMOVE DECK DOORS, REPAIR SIDING TO MATCH HISTORIC, TYPICAL OF (3)

(1) PROVIDE NEW GUTTER

(1) REATTACH LIGHTING CABLE CONDUCTOR TO SIDING

(2) PROVIDE CROWN MOLDING TO MATCH EXISTING, ENTIRE FASCIA BOARD THIS WING

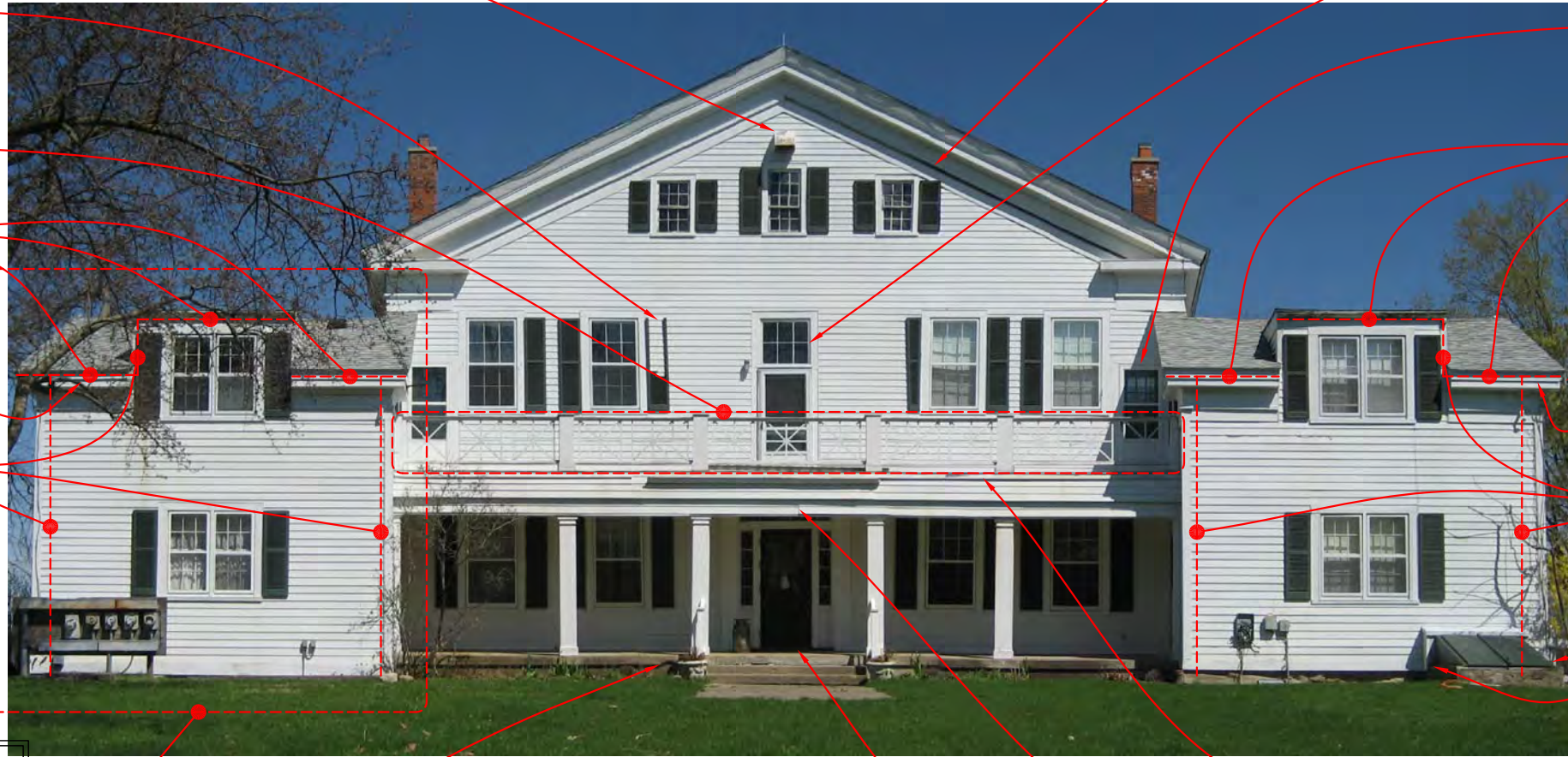
(1) PROVIDE NEW DOWNSPOUTS

(1) PROVIDE NEW WOOD SURROUND AT CELLAR DOOR

(1) PROVIDE DRIP EDGES AND FLASHING, ENTIRE ROOF LINE OF WEST PORCH

(2) REPAIR OPEN JOINTS IN ALUMINUM SIDING, ALONG WEST PORCH FASCIA BOARD

(3) REPLACE DETERIORATED NON-ORIGINAL DOOR WITH TWO-PANELED DOOR TO MATCH HABS DRAWINGS



EXISTING WEST ELEVATION

NOT TO SCALE



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LEGEND	
(1)	NEAR TERM PRIORITY
(2)	MID TERM PRIORITY
(3)	LONG TERM PRIORITY

(2) CLEAN EFFLORESCENCE AND STAIN FROM BRICK IN AREA SHOWN, ALL SIDES

(1) REPAIR OPEN JOINT IN CROWN MOLDING FASCIA BOARD

(1) PROVIDE (N) GUTTER

(2) PROVIDE VENTILATION FOR PORCH ROOF

(1) REPAIR OPEN JOINT IN CROWN MOLDING

(1) SCRAPE AND PAINT WOOD COLUMNS; REPAIR ROTTED BOTTOM EDGE OF COLUMNS, TYPICAL NORTH PORCH

(2) REPAIR DETERIORATED PORTION OF PORCH WOOD CEILING LIKELY DUE TO LEAK IN ROOF ABOVE; SCRAPE AND PAINT WOOD CEILING

(3) REPLACE NON-ORIGINAL DOOR WITH TWO-PANELED DOOR TO MATCH HABS DRAWINGS

(2) SCRAPE AND PAINT PORCH WOOD FLOOR



(1) PROVIDE IMPROVED FLASHING AT LOCATION WHERE WATER IS CHanneled BEHIND ALUMINUM SIDING

(1) REPAIR FLASHING WHERE NORTH WING TERMINATES AT MAIN HOUSE

WORK SHOWN FOR THIS WING IS BASED ON EXISTING BUILDING CONFIGURATION AND MAY BE MODIFIED OR ELIMINATED BY PLAN FOR LONG TERM PRIORITY (3) WORK



(3) REMOVE ALUMINUM SIDING; REPAIR AND REPLACE UNDERLYING WOOD CLAPBOARD SIDING TO MATCH HISTORIC
 (3) REGLAZE 75% OF WINDOWS

(1) REPOINT STONE FOUNDATION

EXISTING NORTH ELEVATION

NOT TO SCALE



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LEGEND	
(1)	NEAR TERM PRIORITY
(2)	MID TERM PRIORITY
(3)	LONG TERM PRIORITY

(2) CLEAN EFFLORESCENCE FROM BRICK IN THE AREA SHOWN, ALL SIDES

(2) REPLACE WINDOW SHUTTER TO MATCH EXISTING

(1) REPAIR FLASHING WHERE SOUTH WING TERMINATES AT MAIN HOUSE (BEYOND AT VERTICAL WALL)

(1) PROVIDE IMPROVED FLASHING AT LOCATION WHERE WATER IS CHANNLED BEHIND ALUMINUM SIDING

(1) PROVIDE NEW GUTTER

(2) REPAIR BUCKLED PORTION OF PORCH WOOD CEILING LIKELY DUE TO LEAK IN ROOF ABOVE

(2) REPAIR SIDING WHERE PULLED AWAY FROM TRIM BOARD

(1) REPOINT STONE FOUNDATION



(1) REPOINT BRICK IN THE AREA SHOWN, ALL SIDES

(1) REPAIR FLASHING AT BASE OF CHIMNEY

(1) REATTACH CROWN MOLDING FASCIA BOARD AND REPAIR OPEN JOINTS AS REQUIRED

(1) REATTACH FRIEZE BOARD AND REPAIR OPEN JOINTS AS REQUIRED

(1) PAINT AND SCRAPE WOOD COLUMN, TYPICAL FOR SOUTH PORCH

(1) REPAIR HOLE IN WOOD COLUMN, TYPICAL

(3) REPLACE NON-ORIGINAL DOOR WITH TWO-PANELED DOOR TO MATCH HABS DRAWINGS

(2) SCRAPE AND PAINT PORCH WOOD FLOOR

(3) REMOVE ALUMINUM SIDING; REPAIR AND REPLACE UNDERLYING WOOD CLAPBOARD SIDING TO MATCH HISTORIC

(3) REGLAZE 75% OF WINDOWS

EXISTING SOUTH ELEVATION

NOT TO SCALE



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EXPER. LEARNING	MEETINGS	COMMUNITY EVENTS	
<ul style="list-style-type: none"> canning and preserving foods seminars farm-related activities flower gardening food and cooking seminars gardening herb gardens historical society programs historical tours landscaping school activities sustainability seminars vegetable gardening museum displays 	<ul style="list-style-type: none"> business retreats fundraisers historical society programs professional seminars township meeting 	<ul style="list-style-type: none"> bicycle gatherings canning and preserving foods seminars christmas markets civil war enactments class picnics concerts family board game night family movie night farm-related activities flower gardening food and cooking seminars fundraisers fun-runs garden parties geology/ geography lectures graduation photos herb gardens historical lectures 	<ul style="list-style-type: none"> Historical Society programs historical tours Michigan statehood events open house outdoor gatherings picnics recitals seed exchanges storytelling study sessions sustainability seminars tea parties tours vegetable gardening vintage car events warming hut for XC skiing or snow-shoeing wedding women's suffrage historic reenactment
EXHIBITIONS	FESTIVALS	PRIVATE RECEPTIONS	USERS
<ul style="list-style-type: none"> antique shows art/ photography exhibits (local artists) historical artifacts exhibits historical society programs tours vintage car events 	<ul style="list-style-type: none"> dexter days of old (with period costumes) civil war historic reenactment historical society programs Michigan statehood events oktoberfest storytelling festival vintage car events women's suffrage historic reenactment 	<ul style="list-style-type: none"> birthday parties, bar mitzvahs, bat mitzvahs business retreats family board game night family movie night fundraisers garden parties graduations picnics professional seminars showers small dinner parties tea parties weddings 	<ul style="list-style-type: none"> 4H, boy / girl scouts Dexter Area Historical Society churches community groups / organizations corporations / local businesses environmental groups local artists master gardeners neighborhood / sub-division / condo associations school children / students seniors service organizations small groups / clubs / organizations township board/ commissions/ departments volunteers

BUILDING USES / ACTIVITIES: USES & CATEGORIES

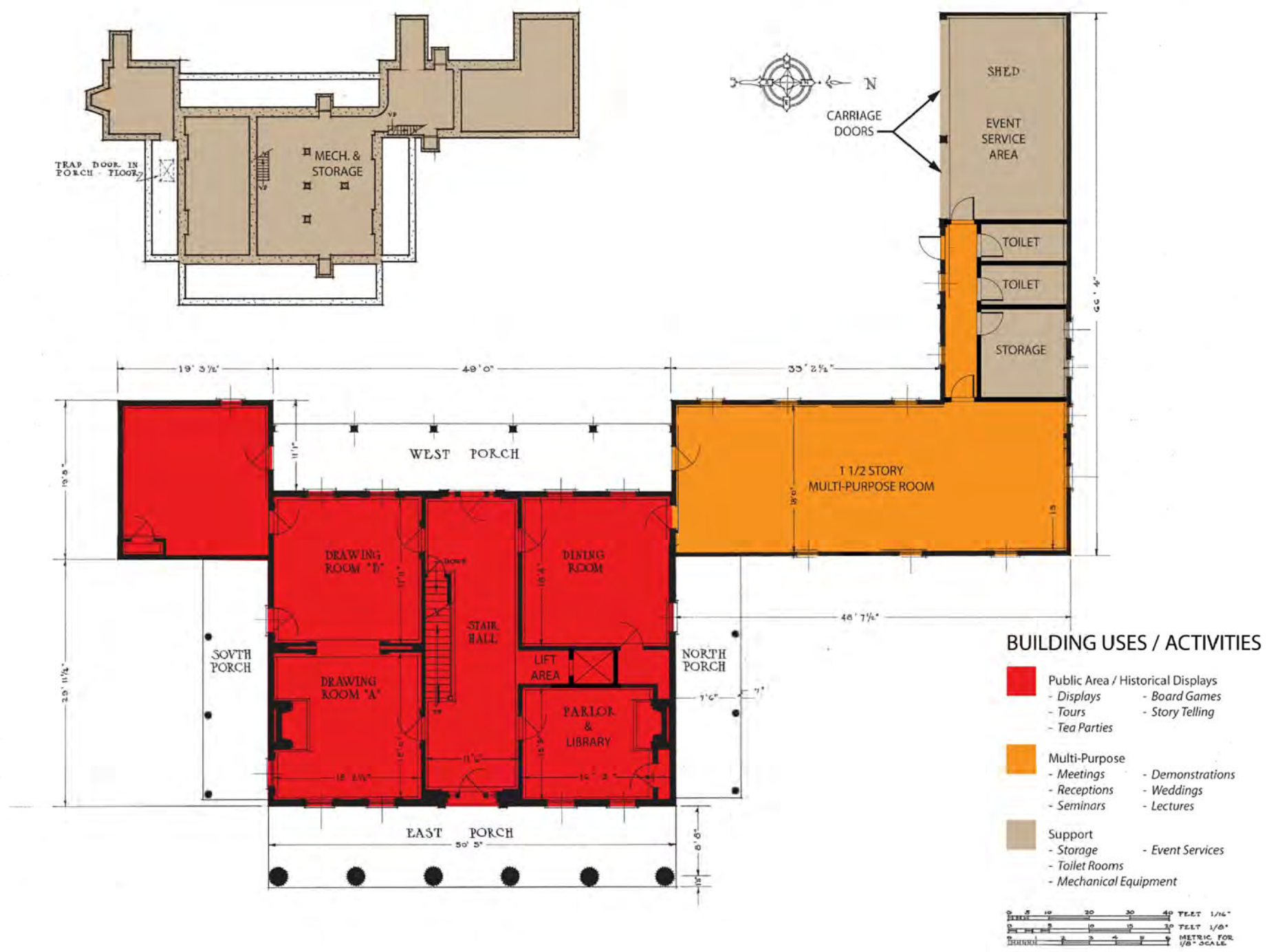
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SHEET
9



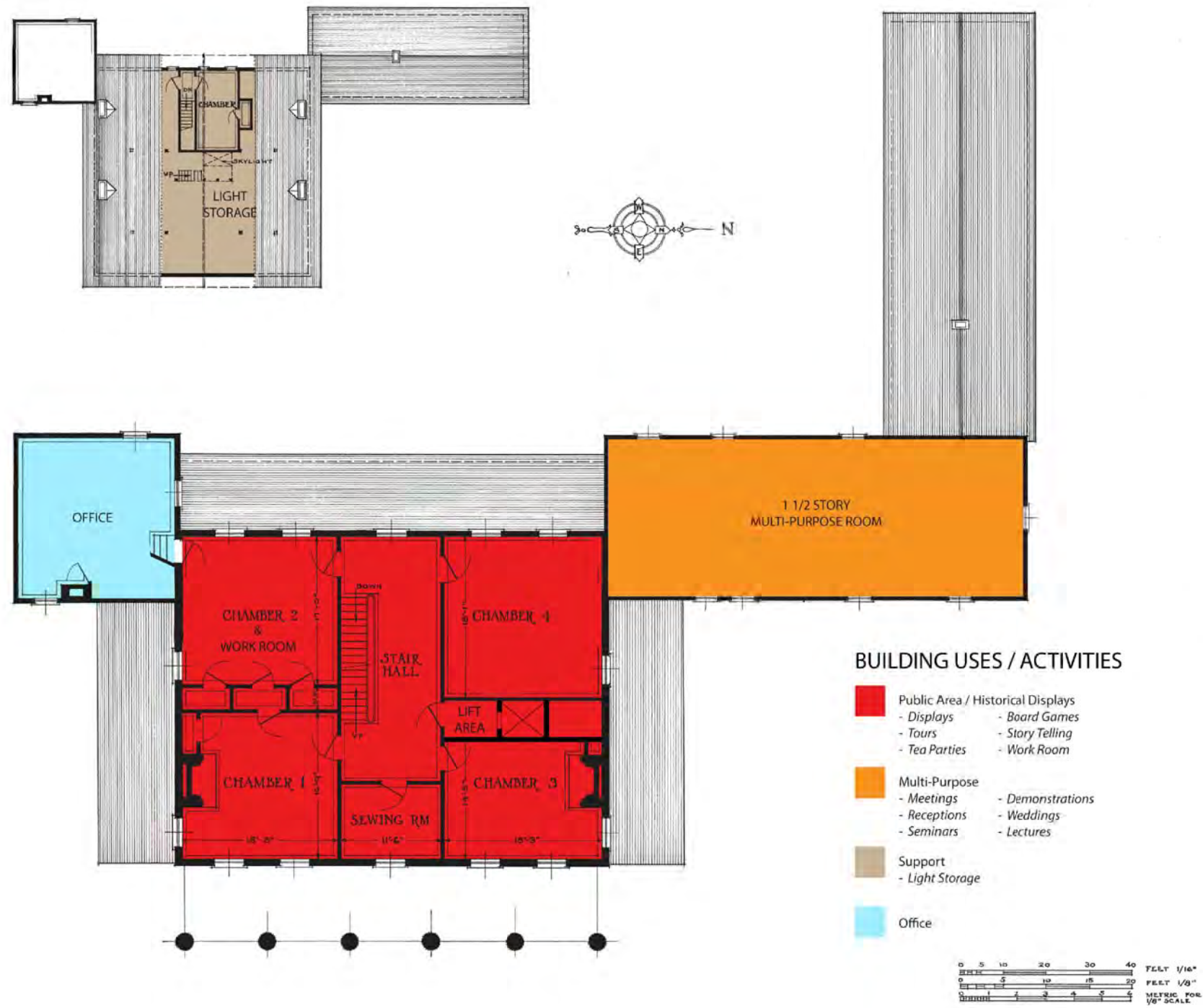
BUILDING USES / ACTIVITIES: RESTORED FIRST FLOOR & BASEMENT

NOT TO SCALE



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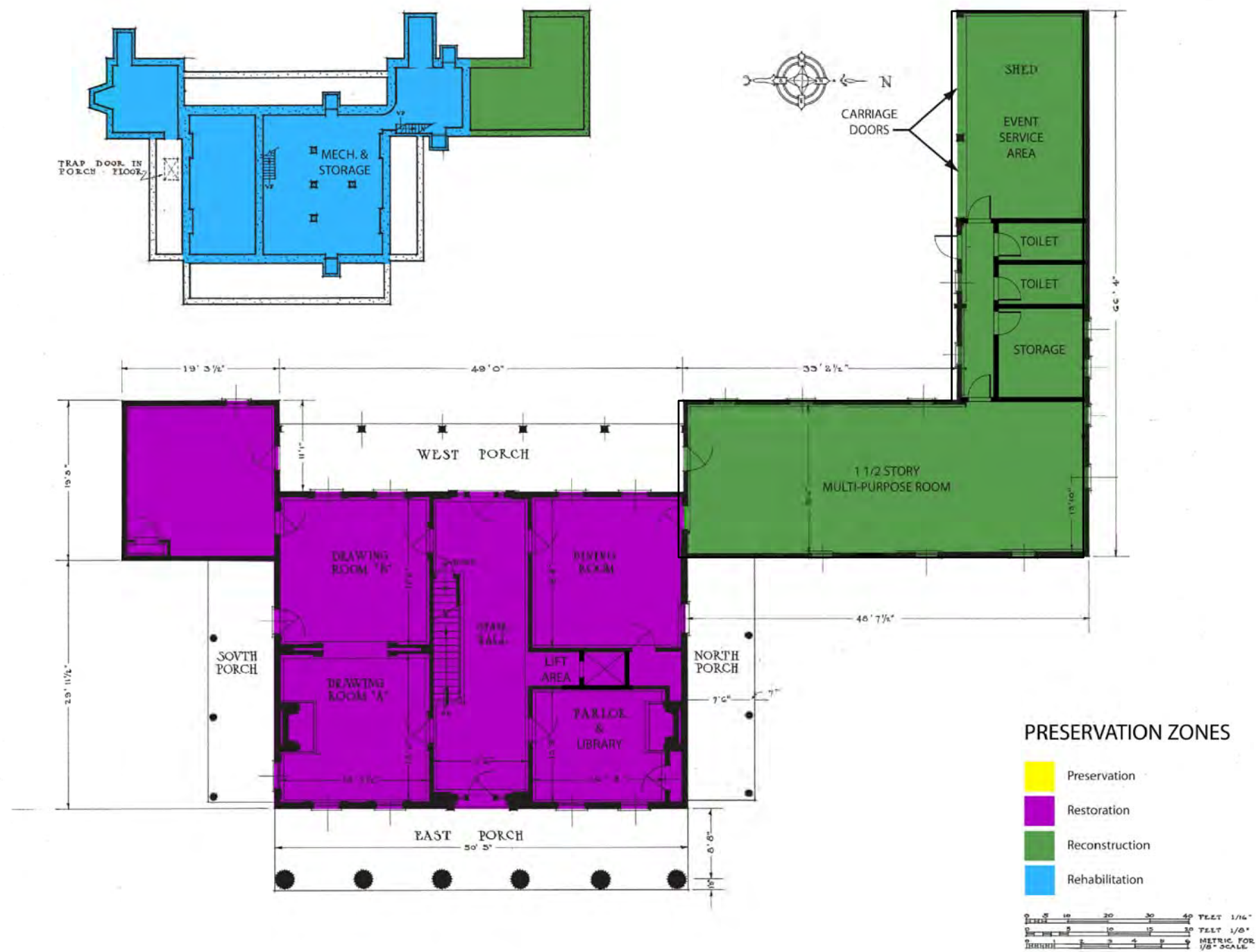
BUILDING USES / ACTIVITIES: RESTORED SECOND FLOOR & ATTIC

NOT TO
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PRESERVATION ZONES: RESTORED FIRST FLOOR & BASEMENT

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PRESERVATION ZONES: RESTORED SECOND FLOOR & ATTIC

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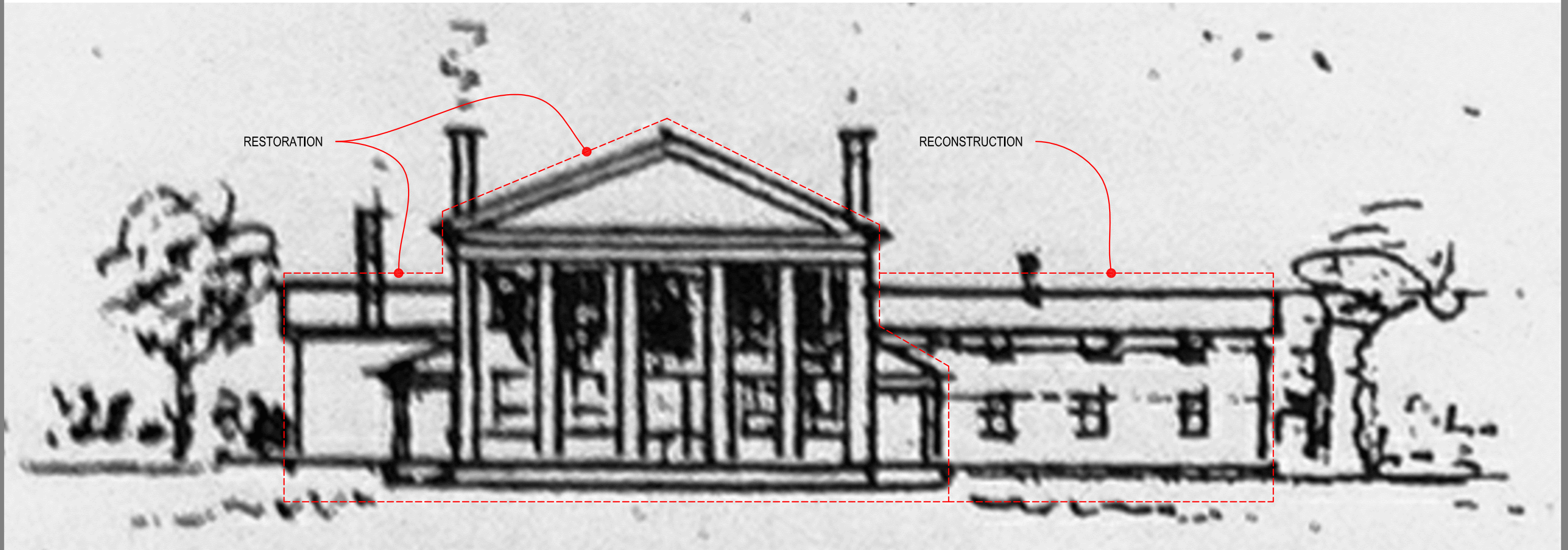


IMAGE SOURCE: PERSPECTIVE SKETCH BY EMIL LORCH, DEAN EMERITUS OF THE UNIVERSITY OF MICHIGAN'S COLLEGE OF ARCHITECTURE, DURING THE 1940S RESTORATION

PRESERVATION ZONES: RESTORED EAST ELEVATION

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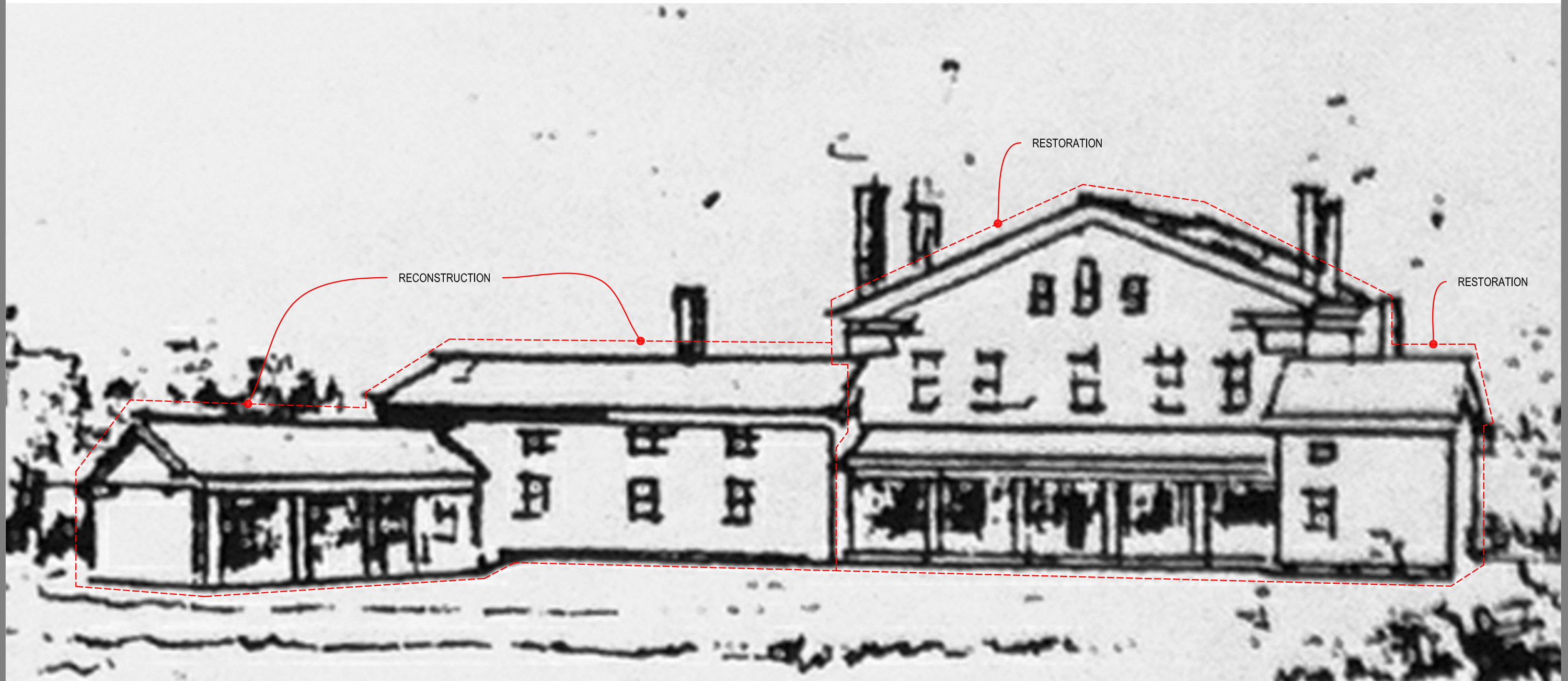


IMAGE SOURCE: PERSPECTIVE SKETCH BY EMIL LORCH, DEAN EMERITUS OF THE UNIVERSITY OF MICHIGAN'S COLLEGE OF ARCHITECTURE, DURING THE 1940S RESTORATION

PRESERVATION ZONES: RESTORED WEST ELEVATION

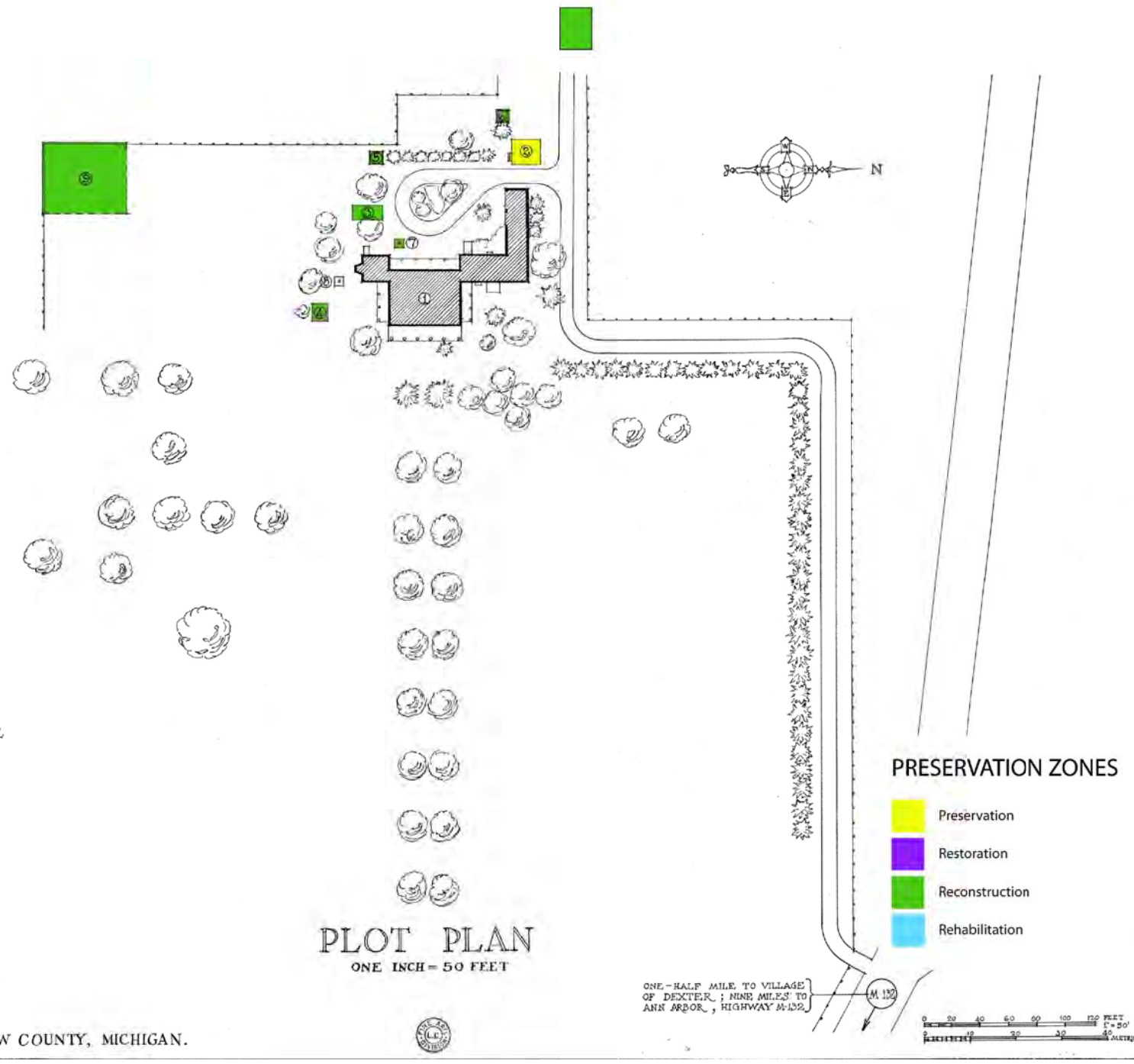
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SCALE



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TALMAGE, C. HUGHES, DEL.
LOCATION - DEXTER, WASHTENAW COUNTY, MICHIGAN.

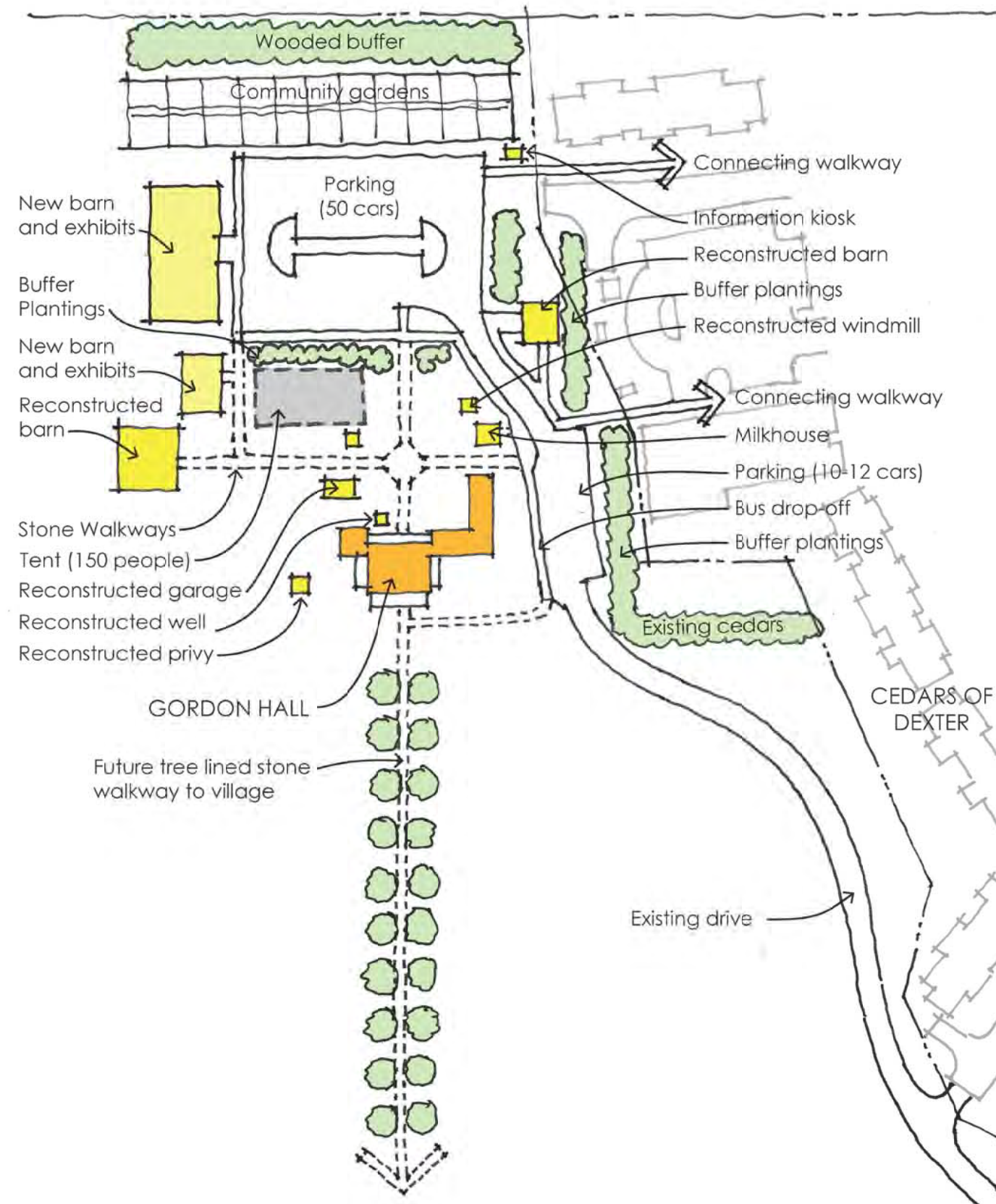
PRESERVATION ZONES: RESTORED SITE

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PROPOSED SITE DEVELOPMENT

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